

SITE PLAN

TYPICAL SITE DESIGN NOTES

1. Screen walls shall be used to fully screen from view all A/C condenser and mechanical equipment. Screen walls shall match adjacent house construction.
2. Owner is required to comply with proper trash can storage & screening. Refer to section 3.7 of the Grandview Ranch CC&Rs for trash restrictions regarding storage & screening.

IRREGULAR SHAPED LOTS

1. Irregular shape lots with reduced road frontage that prevent the driveway from being designed in accordance with the minimum setback distances noted on this exhibit, and the CC&Rs, will require a variance and approval by the GRARC.

OPTIONAL FENCING

1. FRONT YARD FENCING TO CONTINUE OFF DRIVEWAY ENTRY MONUMENT AND MUST FOLLOW STAGGERED LAYOUT AND SETBACKS, AS SHOWN
2. SIDE YARD FENCING TO FOLLOW PROPERTY LINE AND MAY BE STRAIGHT (NON-STAGGERED)

TYPICAL DRIVEWAY DESIGN NOTES

1. Driveway to intersect with existing roadway at an angle of 90° unless otherwise approved by the GRARC.
2. Driveways shall be designed to meander, or curve in order to minimize straight runs from road to garage.
3. Driveways shall consist of "all-weather" hard surface material - gravel and other similar materials is not permitted.
4. On-site turn around capability must be provided. The use of widened driveways, courtyards, hammerheads or a circular configuration may be utilized to allow all vehicles to exit a Lot in a forward driving orientation. Long driveways, as determined by the GRARC, must provide at least one turnout for passing to accommodate (2) automobiles simultaneously traveling on the driveway in opposite directions.

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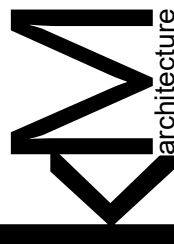
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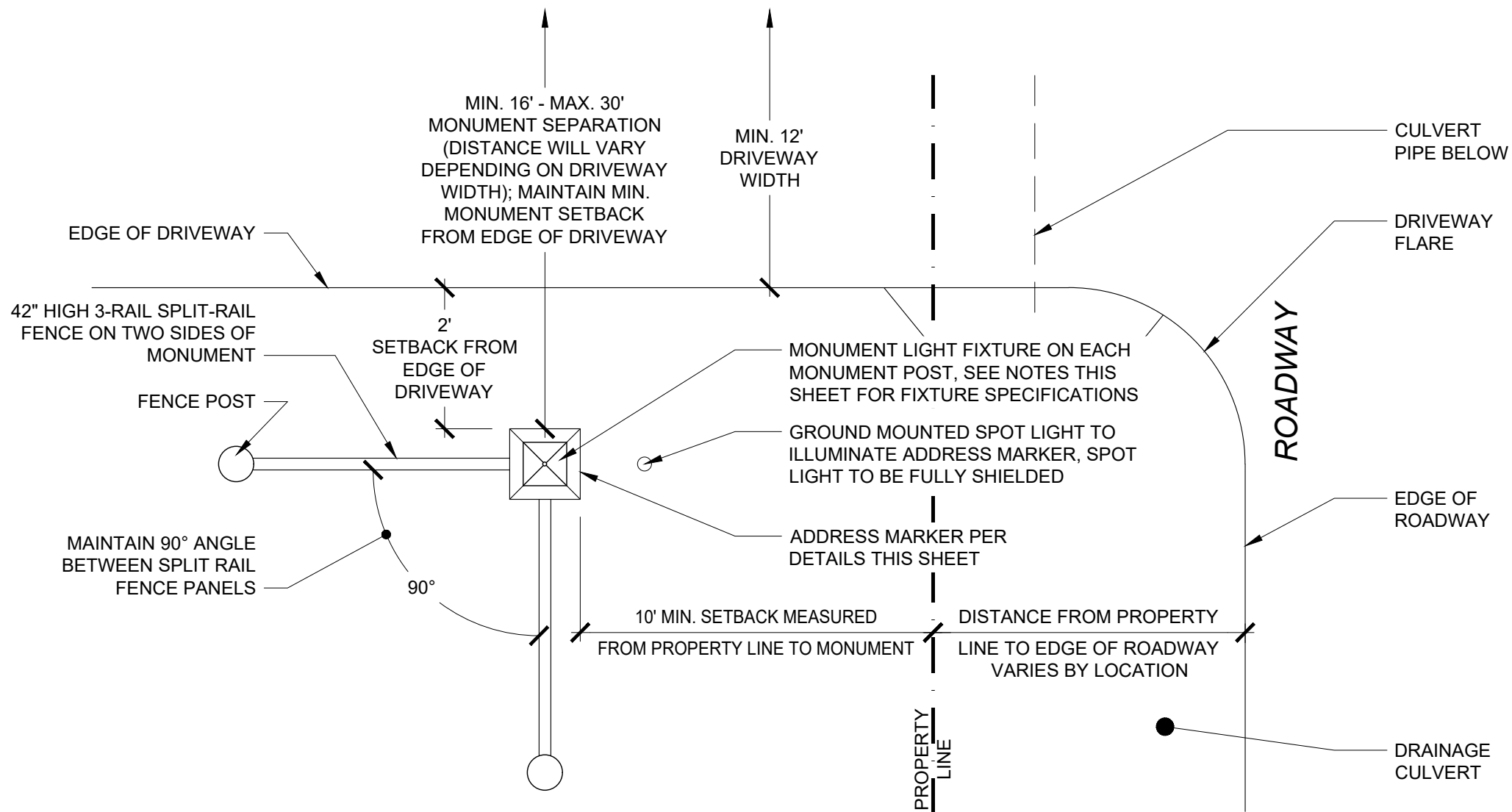
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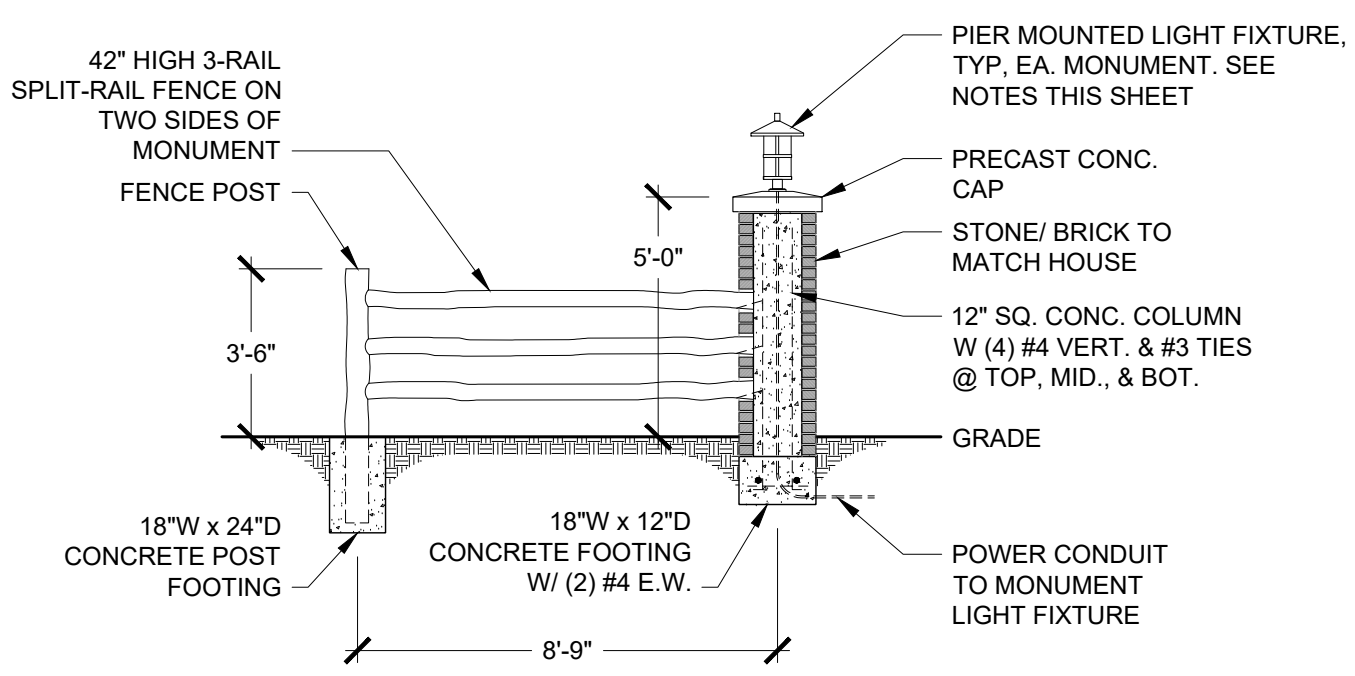
TYPICAL LOT LAYOUT

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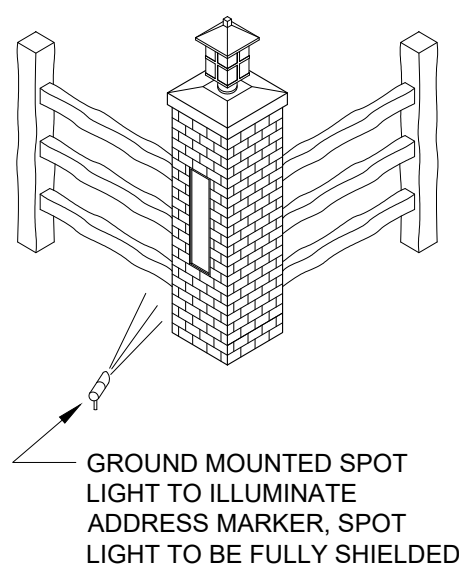




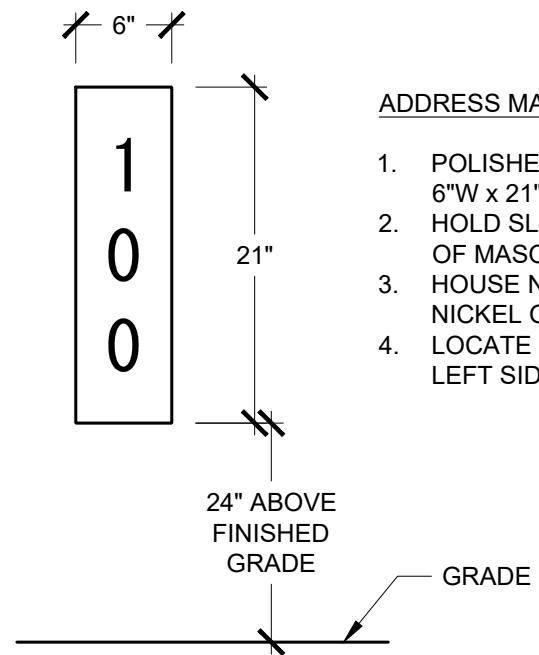
ENTRY MONUMENT PLAN



ENTRY MONUMENT DETAIL



ISOMETRIC VIEW



ADDRESS MARKER

TYPICAL ENTRY MONUMENT DESIGN NOTES

1. Each lot shall have a masonry veneered entry monument with a decorative light fixture mounted as shown, on each side of driveway entrance from the street.
2. The masonry used on the entry monument shall match that used on the house.
3. The granite address marker identifying the street number for the lot shall be located on the left side monument and shall be illuminated by a ground mounted spot light. The spot light shall be fully shielded so as to avoid road glare.
4. The pier mounted light fixture on each monument shall be similar in style to the following basis of design: Kichler 9527AGZ, Aged Bronze from the Cross Creek Collection. Opaque/ frosted glass is required to avoid direct view of the lamp. Lamp shall be max. 800 lumens, light output color temperature of 2500K - 3500K.
5. Monument light fixture will require prior approval by the GRARC.

ENTRY MONUMENT VARIANCE REQUIREMENTS

1. Entry monuments shall be located as shown. All deviations from the prescribed design requirements or minimum setback distances noted on this exhibit, and the CC&Rs, will require a variance and approval by the GRARC.
2. Entry monument setback from the front property line may be adjusted from the required 10' to a minimum of 2' to a maximum of 15'. This adjustment will require a variance and approval by the GRARC.

SHEET NUMBER:

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ENTRY MONUMENT DETAILS

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